

PRELIMINARY PLAT / SITE PLAN

WARRIOR RUN SENIOR LIVING PLAT I

NORWALK, IOWA

CS FAMILY PROPERTIES, LLC, 1815 WETHERSFIELD DRIVE, NORWALK, IOWA 50211

PROPERTY OWNER / APPLICANT:
CS FAMILY PROPERTIES, LLC
1815 WETHERSFIELD DRIVE
NORWALK, IOWA 50211

LEGAL DESCRIPTION

ALL OF OUTLOT 'W', WARRIOR RUN ESTATES PLAT I, AN OFFICIAL PLAT RECORDED IN BOOK 2015, PAGE 6541 IN THE OFFICE OF THE WARREN COUNTY RECORDER, SAID PROPERTY CONTAINS 3.93 ACRES MORE OR LESS.

EXISTING ZONING

R-3 HIGH DENSITY MULTI-FAMILY (OUTLOT 'W')

BULK REGULATIONS FOR R-3

FRONT YARD SETBACK - 25'
REAR YARD SETBACK - 30'
MINIMUM SEPARATION - 15' TOTAL

AREAS:

BUILDINGS = 34,042 S.F. 23.9%
IMPERVIOUS = 16,188 S.F. 4.8%
STREET DRIVES & WALKS = 17,100 S.F. 10.8%
OPEN SPACE = 9,042 S.F. 55.5%
TOTAL = 164,022 S.F. 100.0%

UNIT DENSITY:

R-3 MAX. 12 UNITS PER ACRE
PROPOSED: 20 UNITS/3.77 ACRES = 5.3 UNITS PER ACRE

PARKING CALCULATIONS:

REQUIRED (2.5/UNIT) = 25x20 UNITS = 50 SPACES
GARAGE SPACES = 20 SPACES
OFF STREET SPACES = 6 SPACES
DRIVEWAY SPACES = 40 SPACES
TOTAL PARKING SPACES = 66 SPACES

UTILITY CONTACTS:

SANITARY SEWER - NORWALK PUBLIC WORKS DEPARTMENT (515-481-0228)
WATER MAIN - NORWALK PUBLIC WORKS DEPARTMENT (515-481-0228)
STORM SEWER - NORWALK PUBLIC WORKS DEPARTMENT (515-481-0228)
NATURAL GAS UTILITY - MID AMERICAN ENERGY (515-252-6947)
ELECTRIC - MID AMERICAN ENERGY (515-252-6947)

SANITARY SEWER NOTES:

- ALL SANITARY SEWER SERVICES SHALL BE SDR 35.5 IN ACCORDANCE WITH SUDAS. ALL SERVICES SHALL BE EXTENDED TO WITHIN 5 FOOT OF THE BUILDING FOUNDATION.
- THE UTILITY CONTRACTOR SHALL COORDINATE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.
- ALL 8" SANITARY SEWER SHALL BE PVC TRUSS PIPE WITH CLASS "F-3" BEDDINGS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL MANHOLES WITHIN PAVEMENT SHALL HAVE TYPE 'B' ADJUSTABLE CASTINGS AND INTERNAL CHIMNEY SEALS. ALL MANHOLES NOT WITHIN PAVEMENT SHALL HAVE TYPE 'A' NON-ADJUSTABLE CASTINGS AND EXTERNAL CHIMNEY SEALS.
- MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
- SEE SUDAS FOR TYPICAL SANITARY SEWER AND MANHOLE DETAILS.
- ALL SANITARY MANHOLES SHALL HAVE PLASTIC I & I HAT TYPE BARRIER.
- CORE DRILL MANHOLE FOR NEW 8" CONNECTION AND POUR WELL-DEFINED INVERT.
- ALL SEWERS SHALL BE CONSTRUCTED UNDER PLUMBING PERMIT.
- ALL MANHOLES AND MANHOLE CASTINGS SHALL BE ROTATED AS REQUIRED TO AVOID MANHOLE CONFLICTS WITH SIDEWALKS.

STORM SEWER NOTES:

- ALL INTAKES WITHIN PAVED AREAS SHALL HAVE VANE GRATES.
- 8-INCH STORM SEWER TO BE PVC SDR 35.
- INTAKE CASTING TYPES SHALL FOLLOW THE SUDAS SM-603 SPECIFICATION. MANHOLE CASTING TYPES SHALL FOLLOW THE SUDAS SM-602 SPECIFICATION.
- ALL F.E.S.'S SHALL HAVE CONCRETE FOOTINGS PER SUDAS FIGURE 4030.221. THE LAST THREE SECTIONS OF PIPE SHALL BE TIED 4" AFFORD GUARDS SHALL BE PROVIDED.

PAVING NOTES:

- ALL ELEVATIONS ARE PROPOSED FINISHED GRADE AT TOP OF SLAB, UNLESS NOTED OTHERWISE.
- COMPACT PAVEMENT SUBGRADE TO 95% STANDARD PROCTOR DENSITY FOR A DEPTH OF 1-FOOT. MOISTURE CONTENT SHALL BE -1% TO +4% OF OPTIMUM. SUBGRADE TO BE COMPACTED IN 6-INCH LIFTS.
- ALL EXPOSED CONCRETE SHALL HAVE 6-7% ENTRAINED AIR, F_c = 4,000 P.S.I. MIN. AND ALL AGGREGATE SHALL MEET ASTM C-33.
- PAVING SHALL BE 7-INCH NON-REINFORCED P.C.C. W/2 1/2" ROLL CURB W/6-INCH INTEGRAL CURB & GUTTER. DROP CURB WILL BE PROVIDED AT SIDEWALK RAMPS AND ACCESSIBLE LOCATIONS WHERE NOTED. THE DRIVEWAY APPROACH FROM THE EDGE OF THE STREET THROUGH THE BACKSIDE OF THE SIDEWALK SHALL BE MINIMUM 7-INCH THICKNESS.

WATER NOTES:

- PIPE MATERIALS: ANNA C400 DR - 18 PVC INSTALL NO. 10 THIN STANDARD COPPER TRACER WIRE TO SURFACE AT FIRE HYDRANTS.
- THE CONTRACTOR SHALL PROTECT AND BACKFILL AROUND ALL UTILITIES AND STRUCTURES. BACKFILL SHALL BE IN 6-INCH LAYERS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY, & 0% TO +4% OPTIMUM MOISTURE CONTENT.
- HYDRANTS, MANHOLE COVERS AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
- SERVICES TO BE 1-INCH COPPER, STOP BOXES TO BE MUELLER H-10300 OR EQUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING THE AS-BUILT LOCATION OF ALL WATER SERVICES AND PROVIDING THIS INFORMATION TO THE ENGINEER.
- HYDRANTS SHALL BE SET NOT MORE THAN 4 FEET FROM CENTER OF WATER MAIN.
- AN APPROVED SADDLE SHALL BE USED FOR ALL WATER SERVICE TAPS.
- VALVES SHALL BE MUELLER RESILIENT WEDGE OR EQUAL.
- HYDRANTS SHALL BE CLOW MEDALLION OR EQUAL. ALL HYDRANTS SHALL BE YELLOW IN COLOR.
- CURB STOPS SHALL BE LOCATED NO FURTHER THAN 10" INSIDE R.O.W. FROM PROPERTY LINE. UNDER NO CIRCUMSTANCES SHALL THEY BE LOCATED IN THE SIDEWALK.
- ALL SERVICE LINES SHALL BE TESTED WITH WATER MAIN.
- WHERE SEWERS CROSS OVER OR LESS THAN 18-INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR RCP WITH FLEXIBLE O-RING GASKET JOINTS (FOR STORM SEWERS ONLY) SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.

GRADING & EROSION CONTROL:

- ALL GRADING & EROSION CONTROL NOTES SHOWN ON GRADING / SWPPP PLANS

Sheet List Table

SHEET NUMBER	SHEET TITLE
01	COVER SHEET
02	DIMENSION PLAN
03	SANITARY SEWER & WATER MAIN PLAN
04	STORM SEWER PLAN
05	GRADING PLAN
06	LANDSCAPE PLAN

GENERAL NOTES

- ALL CONSTRUCTION (PUBLIC & PRIVATE) SHALL BE IN ACCORDANCE WITH THE 2018 EDITION OF SUDAS STANDARD SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION:
 - CITY OF NORWALK PUBLIC WORKS DEPARTMENT.
 - CS FAMILY PROPERTIES, LLC.
 - CIVIL ENGINEERING CONSULTANTS, INC.
 - IOWA ONE-CALL
- THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOWA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON-SITE FACILITIES FROM DAMAGE RESULTING FROM THE CONTRACTOR'S WORK. IF DAMAGE, BREAKAGE, INTERRUPTION OF SERVICE, ETC. OF EXISTING FACILITIES DOES OCCUR THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE UTILITY'S OWNER. DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY FARM TILE DAMAGE DURING CONSTRUCTION AND RECORDING LOCATION OF TILE.
- A GEOTECHNICAL REPORT FOR THIS PROJECT CAN BE OBTAINED BY CONTACTING THE OWNER.
- ANY CHANGES TO THE CONSTRUCTION DRAWINGS DURING CONSTRUCTION SHALL BE APPROVED IN WRITING BY THE CITY OF NORWALK PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN APPROVED IN WRITING BY THE CITY OF NORWALK PUBLIC WORKS DEPARTMENT AND ENGINEER OR OWNER.
- THE CITY OF NORWALK PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF ANY WORK BEING PERFORMED ON A HOLIDAY OR WEEKEND.
- ALL CONSTRUCTION STAKING SHALL BE PERFORMED BY A LICENSED ENGINEER OR LAND SURVEYOR.
- A CERTIFIED AS-BUILT GRADING PLAN AND UTILITIES PLAN SHALL BE PROVIDED TO THE CITY OF NORWALK PUBLIC WORKS DEPARTMENT PRIOR TO ACCEPTANCE OF PUBLIC IMPROVEMENTS AND APPROVAL OF THE FINAL PLAT.
- ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTINGS INDICATED ON THE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL CONDUCT CLEAN-UP, SURFACE RESTORATION, AND SURFACE REPLACEMENT ACTIVITIES AS CONSTRUCTION PROGRESSES. ALL DEBRIS, DUST, DIRT, ROCK AND OTHER DEBRIS SPILLED ON THE R.O.W. OR ON ADJACENT PROPERTY SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH DAY OR AS REQUESTED BY THE CITY.
- IF DISCREPANCY EXISTS BETWEEN THE DETAILED PLANS AND THE QUANTITIES, THE PLANS SHALL GOVERN.
- THE CITY OF NORWALK REQUIRES ALL HANDICAP ACCESS RAMPS AND LANDING PADS TO BE CONSTRUCTED AS PART OF THE PUBLIC IMPROVEMENTS. SIDEWALKS AND TRAILS ARE NOT TO BE CONSTRUCTED AS PART OF THESE IMPROVEMENTS.
- CONTRACTORS ARE REQUIRED TO PROVIDE DUST CONTROL FOR THE SITE AND DURING CLEANUP OF R.O.W.
- ANY USE OF A PUBLIC UTILITY EASEMENT IS SUBORDINATE TO THE CITY OF NORWALK'S USE OF DESIGNATED UTILITY EASEMENT AND ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT MUST RELOCATE AT NO COST TO THE CITY WHEN THE USE OF EASEMENT IS IN CONFLICT WITH THE USE BY THE CITY OF NORWALK OF A DESIGNATED UTILITY EASEMENT.
- CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES WITH THE UTILITY OWNER.
- 217' ACCESS SHALL BE GUARANTEED FOR EMS AND FIREFIGHTING EQUIPMENT WITHIN THE GATED PORTION OF THE SITE.



VICINITY MAP
NOT TO SCALE

GENERAL LEGEND

PROPOSED	EXISTING
--- PLAT BOUNDARY	- - - LOT LINE
--- SECTION LINE	○ SANITARY/STORM MANHOLE
--- LOT LINE	○ WATER VALVE
--- CENTERLINE	○ FIRE HYDRANT
--- EASEMENT LINE	□ STORM SEWER SINGLE INTAKE
--- FLARED END SECTION	□ STORM SEWER DOUBLE INTAKE
○ TYPE SW-501 STORM INTAKE	□ STORM SEWER ROUND INTAKE
○ TYPE SW-502 STORM INTAKE	○ DECIDUOUS TREE
○ TYPE SW-503 STORM INTAKE	○ CONIFEROUS TREE
○ TYPE SW-504 STORM INTAKE	○ SHRUB
○ TYPE SW-505 STORM INTAKE	○ POWER POLE
○ TYPE SW-506 STORM INTAKE	○ STREET LIGHT
○ TYPE SW-511 STORM INTAKE	○ GUY ANCHOR
○ TYPE SW-512 STORM INTAKE	○ ELECTRIC TRANSFORMER
○ TYPE SW-513 STORM INTAKE	○ GAS METER
○ TYPE SW-401 STORM MANHOLE	○ TELEPHONE RISER
○ TYPE SW-402 STORM MANHOLE	○ SIGN
○ TYPE SW-403 STORM MANHOLE	--- CATV --- UNDERGROUND TELEVISION
○ TYPE SW-404 STORM MANHOLE	--- UGE --- UNDERGROUND ELECTRIC
○ TYPE SW-403 STORM MANHOLE	--- G --- UNDERGROUND GAS
○ TYPE SW-301 SANITARY MANHOLE	--- UGFO --- UNDERGROUND FIBER OPTIC
○ TYPE SW-302 SANITARY MANHOLE	--- UGT --- UNDERGROUND TELEPHONE
○ TYPE SW-304 SANITARY MANHOLE	--- OHK --- OVERHEAD ELECTRIC
○ STORM/SANITARY CLEANOUT	--- SAN ^{8"} --- SANITARY SEWER WITH SIZE
○ WATER VALVE	--- S7.12" --- STORM SEWER WITH SIZE
○ FIRE HYDRANT ASSEMBLY	--- W8" --- WATER MAIN WITH SIZE
○ BLOW-OFF HYDRANT	--- 926 --- EXISTING CONTOUR
○ DETECTABLE WARNING PANEL	--- B.S.L. --- BUILDING SETBACK LINE
○ SAN ^{12"} SANITARY SEWER WITH SIZE	--- P.U.E. --- PUBLIC UTILITY EASEMENT
--- SAN --- SANITARY SERVICE	--- M.O.E. --- MINIMUM OPENING ELEVATION
--- S7.12" STORM SEWER WITH SIZE	
--- ST --- STORM SERVICE	
--- W8" WATER SEWER WITH SIZE	
--- W --- WATER SERVICE	
--- 926 --- PROPOSED CONTOUR	
--- X --- SILT FENCE	
○ RIP RAP	
○ (234) ADDRESS	

FLOOD ZONE

ZONE 'X'
FEMA FIRM FLOOD INSURANCE RATE MAP NUMBER 19181C0132E
REVISED MARCH 2, 2009

CERTIFICATIONS

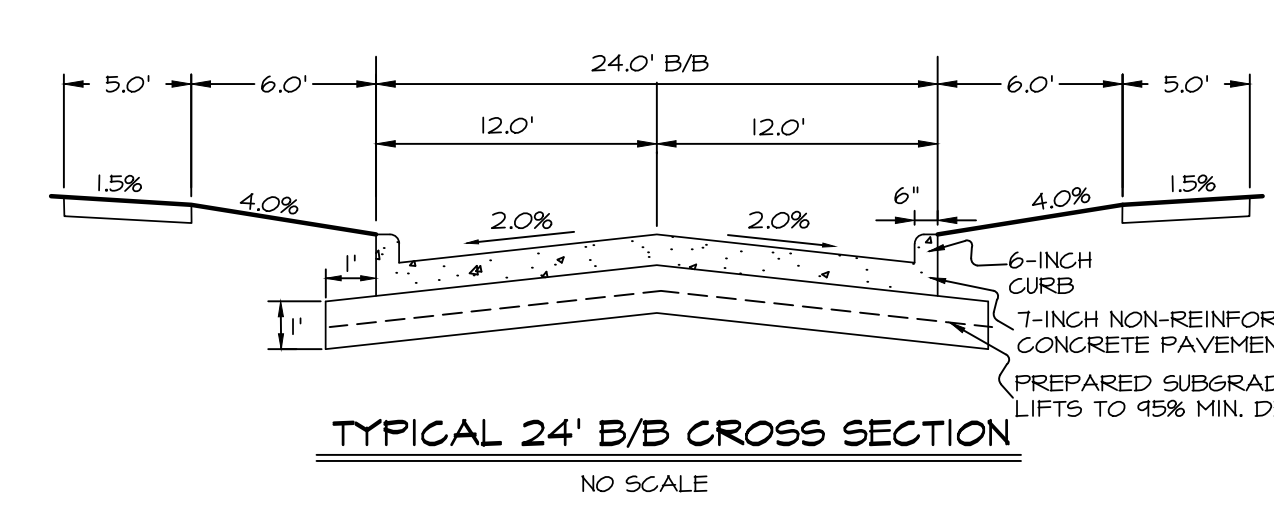
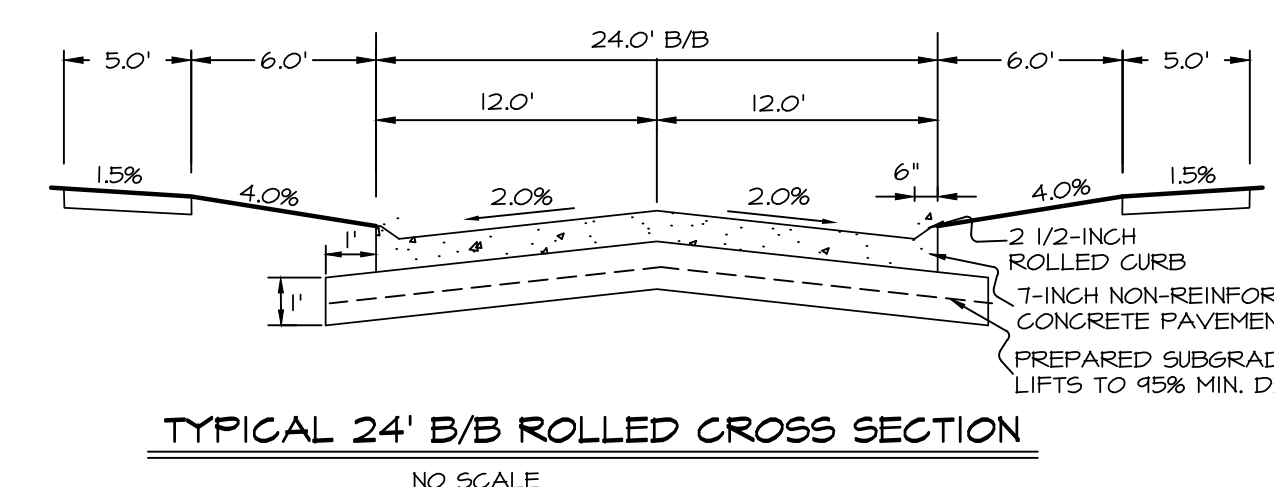
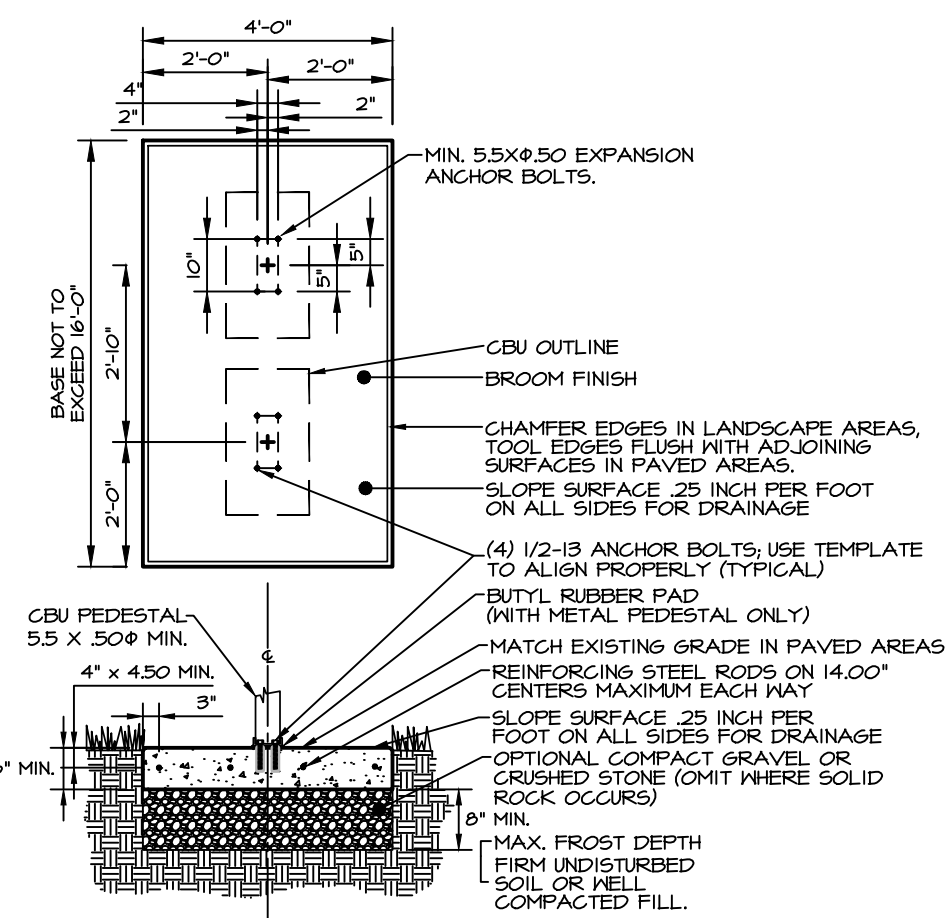
	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. PAUL J.D. CLAUSEN, IOWA REG. NO. 23772 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2014 PAGES OR SHEETS COVERED BY THIS SEAL: sheets 1-4
	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. JERRY P. OLIVER, IOWA REG. NO. 7844 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018 PAGES OR SHEETS COVERED BY THIS SEAL: sheet 2
	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. BY: KENT R. ZARLEY DATE: JUNE 30, 2014 IOWA REG. NO. 257 MY LICENSE RENEWAL DATE IS: JUNE 30, 2014 PAGES OR SHEETS COVERED BY THIS SEAL: sheet 5 only

CONCRETE MAILBOX PAD - MULTI-UNIT DETAIL

NOT TO SCALE

NOTES:

- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, CONTAIN 4# MIN. - 6# MAX. AIR ENTRAINMENT AND BE PLACED WITH A 3/32" - 4/50 SLUMP IN ACCORDANCE WITH ACI 301.
- REINFORCING STEEL RODS SHALL CONFORM TO ASTM A615, GRADE 60.
- EXPANSION BOLTS SHALL BE EQUIVALENT TO THE FOLLOWING PROVIDERS:
 - HILTI KWIK BOLT (www.hilti.com) 1/2-1/2" DIAMETER x 5-1/2" OVERALL LENGTH GALVANIZED, CATALOG # 000-4553-646
 - KB II 1/2-5/12 STAINLESS STEEL; CATALOG # 000-454-744 ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 3-1/2"
 - 171# RAMSET REDHEAD TRIBOLT (www.ramsset-redhead.com) GALVANIZED, 1/2" DIAMETER x 7" OVERALL LENGTH, CATALOG NUMBER: 1#5-12706 ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4-1/8"
 - FRANK STUD (www.frank.com) GALVANIZED, 1/2" DIAMETER x 5-1/2" OVERALL LENGTH, CATALOG NUMBER: 1724 ENSURE THAT THE 8" MIN. MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4"
- TOP OF PAD SHALL MATCH FUTURE SIDEWALK ELEVATION W/ MAXIMUM GROSS SLOPE OF 2% TOWARDS STREET.
- MAXIMUM SLOPE SHOULD NOT EXCEED 5% OR AS DIRECTED BY POST OFFICE.



Civil Engineering Consultants, Inc.
2400 86th Street Unit 12 Des Moines, Iowa 50322
515.276.4884 Fax: 515.276.7084 mail@cecinc.com



DATE:	REVISIONS	COMMENTS
JULY 31, 2018	1	08-21-2018
	2	04-11-2018
	3	04-25-2018
	4	
	5	
	6	

DATE OF SURVEY: MAY 1, 2017
DESIGNED BY: PC
DRAWN BY: KEH

WARRIOR RUN SENIOR LIVING PLAT I
NORWALK, IOWA
COVER SHEET

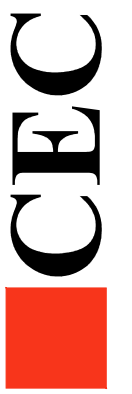
SHEET 01 OF 06
E-7422



PRELIMINARY PLAT / SITE PLAN
WARRIOR RUN SENIOR LIVING PLAT I
 NORWALK, IOWA
 SHEET 02 of 06

PROPERTY OWNER / APPLICANT:
 CS FAMILY PROPERTIES, LLC
 1615 WETHERSFIELD DRIVE
 NORWALK, IOWA 50211

Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 Des Moines, Iowa 50322
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com



STREET CENTERLINE CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C1	90°11'22"	64.00'	100.74'	64.21'	92.66'	N44°54'19"E
C2	90°35'32"	100.00'	158.11'	101.04'	142.15'	N44°42'14"E

PUBLIC WATER MAIN EASEMENT LINE TABLE

LINE #	DIRECTION	LENGTH
L1	S00°35'32"E	44.68'
L2	S22°30'00"W	26.34'
L3	S45°00'00"W	29.89'
L4	S67°30'00"W	44.70'
L5	N90°00'00"E	143.51'
L6	S44°54'19"W	12.46'
L7	S00°42'16"W	165.40'

PUBLIC SANITARY SEWER EASEMENT LINE TABLE

LINE #	DIRECTION	LENGTH
L8	N30°39'54"W	26.69'
L9	N01°30'55"E	128.45'
L10	N84°20'18"E	146.19'
L11	N52°54'19"E	49.48'
L12	N14°19'01"E	100.22'
L13	N28°30'44"W	52.01'

REVISIONS

NO.	DATE	REVISIONS
1	08-21-2018	
2	04-11-2018	
3	04-25-2018	
4	--	
5	--	
6	--	

DATE: JULY 31, 2018

DESIGNED BY: MCH

DRAWN BY: MCH



- LEGEND**
- | | | | |
|---|-------------------|---|-------------------------|
| — | EXISTING PROPOSED | — | PLAT BOUNDARY |
| — | 5" S | — | STORM SEWER # SIZE |
| — | SAN | — | SANITARY SEWER # SIZE |
| — | W | — | WATER MAIN # SIZE |
| — | OHW | — | OVERHEAD ELECTRIC WIRES |
| ○ | | ● | MANHOLE |
| ○ | | ● | STORM INTAKE |
| ○ | | ● | FIRE HYDRANT |
| ○ | | ● | VALVE |
| ○ | | ● | F.E.S. |
| ○ | | ● | EXISTING CONTOURS |
| ○ | | ● | PROPOSED CONTOURS |
| ○ | | ● | SILT FENCE |
| ○ | | ● | EXISTING TREE LINE |
| ○ | | ● | POINT OF BEGINNING |
| ○ | | ● | BUILDING SETBACK LINE |
| ○ | | ● | MAIL BOX CLUSTER |
| ○ | | ● | STREET LIGHT POLE |
| ○ | | ● | FOUND CORNER |
| ○ | | ● | SET CORNER |

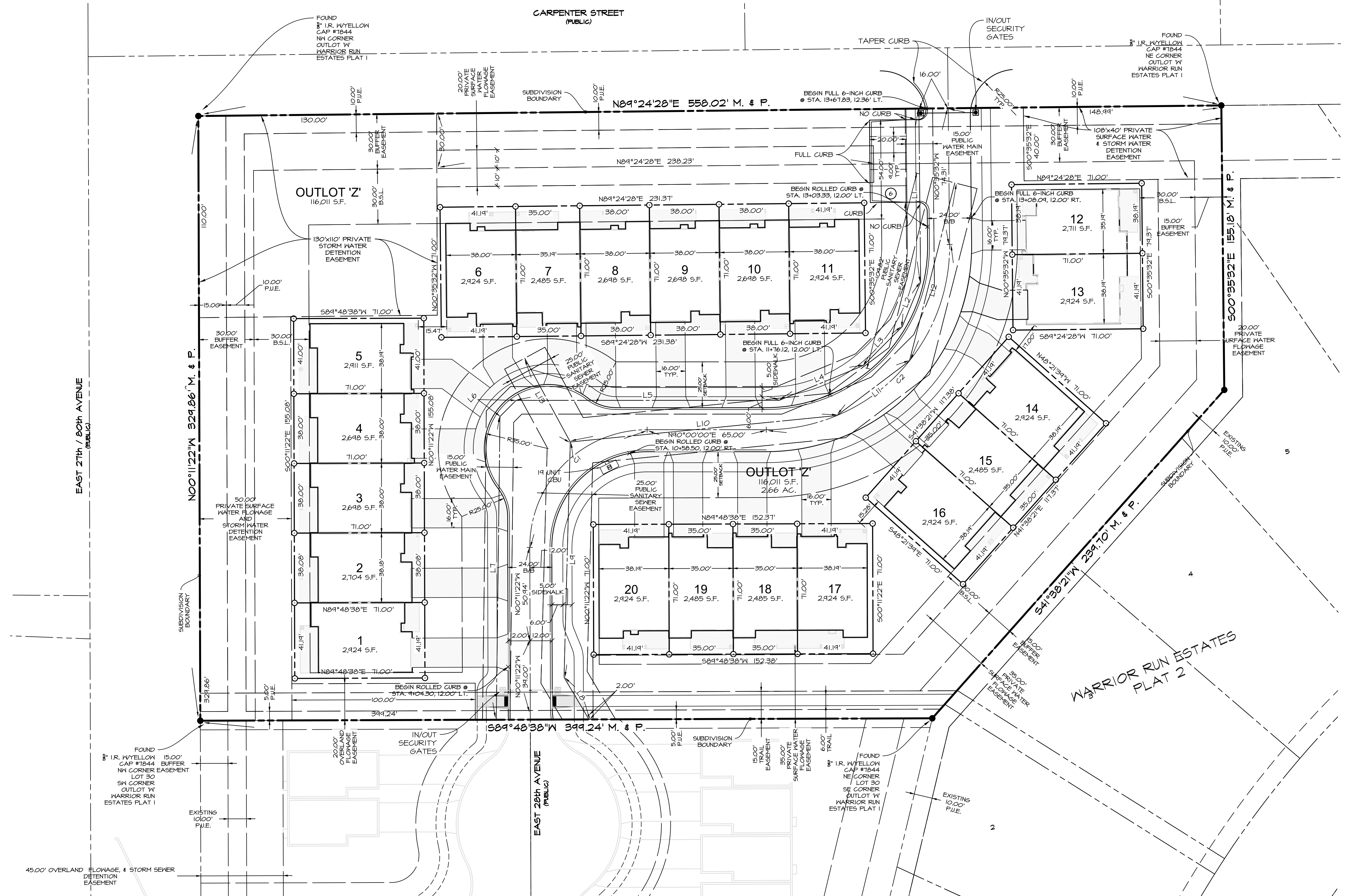
SCALE: 1"=30'
 ON 34"X22" SHEET
 1"=60' ON 11"X17" SHEET

NORTH

WARRIOR RUN SENIOR LIVING PLAT I
 NORWALK, IOWA
 DIMENSION PLAN

SHEET
02
 OF
 06

E-7422



Q:\E-FILES\7000\E792_2_CSD Drawings\Plat\PE\922.PP DIMENSION SHEET.dwg, 9/25/2018 9:02:24 AM, pclausen, L1

PRELIMINARY PLAT / SITE PLAN
**WARRIOR RUN SENIOR
 LIVING PLAT 1**
 NORWALK, IOWA
 SHEET 03 of 06

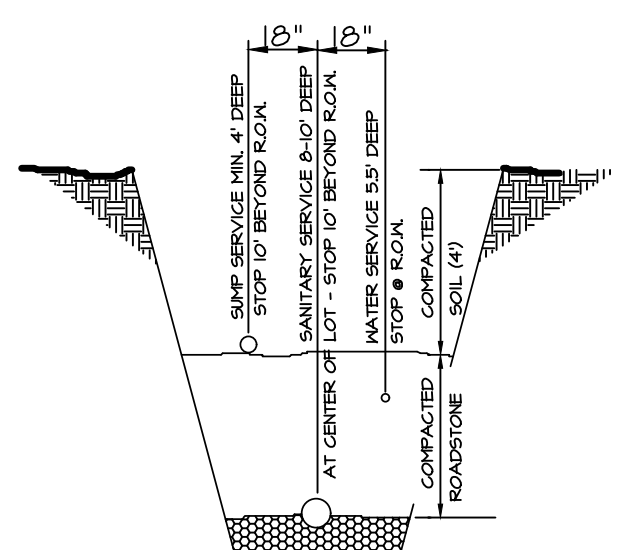
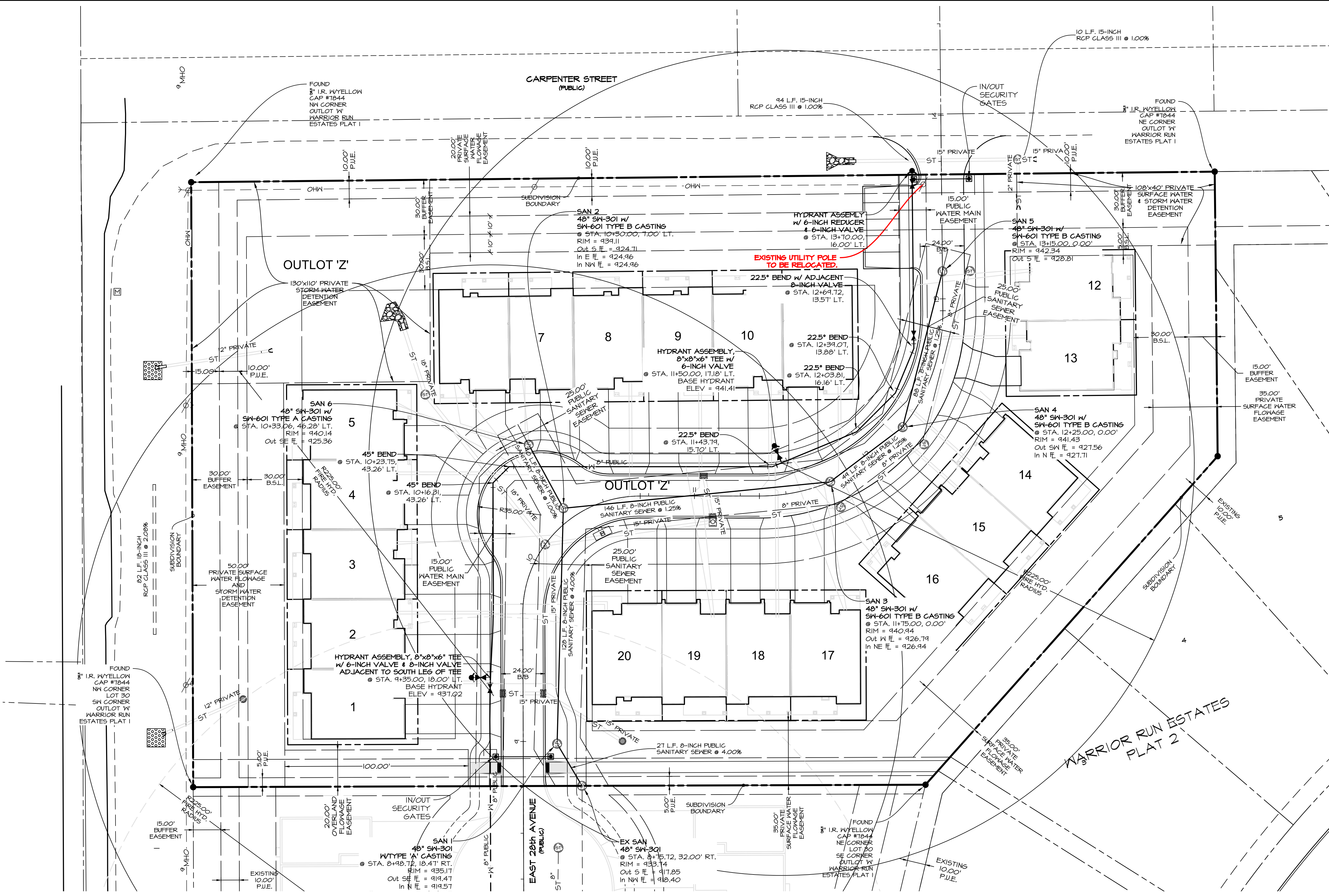
PROPERTY OWNER / APPLICANT:
 CS FAMILY PROPERTIES, LLC
 1615 WETHERSFIELD DRIVE
 NORWALK, IOWA 50211

Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 Des Moines, Iowa 50322
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com



REVISIONS	DATE	COMMENTS
1	08-21-2018	
2	04-11-2019	
3	04-25-2019	
4		
5		
6		

DATE: JULY 31, 2018
 DATE OF SURVEY: MAY 1, 2017
 DESIGNED BY: PC
 DRAWN BY: MEH



SANITARY & SUMP SERVICES SHALL BE MARKED AT THE END OF PIPE WITH A 2X4 TO THE SURFACE & A STEEL FENCE POST. PLACE ONE 6 FT. STEEL POST BURIED 3 FT. AT WATER CURB BOX. COLOR MARKINGS OF SERVICES SHALL BE RED FOR SANITARY, GREEN FOR SUMPS AND BLUE FOR WATER.

SERVICE LOCATION DETAIL
 NO SCALE



LEGEND

—	EXISTING PROPOSED	—	PLAT BOUNDARY
ST	STORM SEWER # SIZE	—	SANITARY SEWER # SIZE
W	WATER MAIN # SIZE	—	OVERHEAD ELECTRIC WIRES
OHN	OVERHEAD ELECTRIC WIRES	○	MANHOLE
○	MANHOLE	○	STORM INTAKE
○	STORM INTAKE	○	FIRE HYDRANT
○	FIRE HYDRANT	○	VALVE
○	VALVE	○	F.E.S.
○	F.E.S.	○	EXISTING CONTOURS
○	EXISTING CONTOURS	○	PROPOSED CONTOURS
○	PROPOSED CONTOURS	○	SILT FENCE
○	SILT FENCE	○	EXISTING TREE LINE
○	EXISTING TREE LINE	○	POINT OF BEGINNING
○	POINT OF BEGINNING	○	BUILDING SETBACK LINE
○	BUILDING SETBACK LINE	○	MAIL BOX CLUSTER
○	MAIL BOX CLUSTER	○	STREET LIGHT POLE
○	STREET LIGHT POLE	○	FOUND CORNER
○	FOUND CORNER	○	SET CORNER
○	SET CORNER		

SCALE: 1"=30'
 ON 34"X22" SHEET
 1"=60" ON 11"X17" SHEET

NORTH

WARRIOR RUN SENIOR LIVING PLAT 1
 NORWALK, IOWA
SANITARY SEWER & WATER MAIN PLAN

SHEET
03
 OF 06

Q:\E-FILES\7000\7922_CSD Drawings\Plan\PE\922 PP UTILITY SHEET.dwg, 9/25/2018 9:02:34 AM, pclausen, 1:1

PRELIMINARY PLAT / SITE PLAN
**WARRIOR RUN SENIOR
 LIVING PLAT I**
 NORWALK, IOWA
 SHEET 04 OF 06

PROPERTY OWNER / APPLICANT:
 CS FAMILY PROPERTIES, LLC
 1615 WETHERSFIELD DRIVE
 NORWALK, IOWA 50211

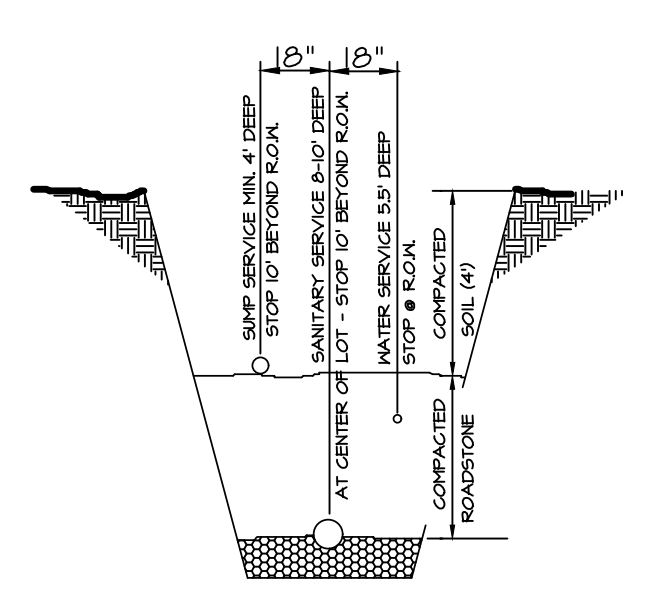
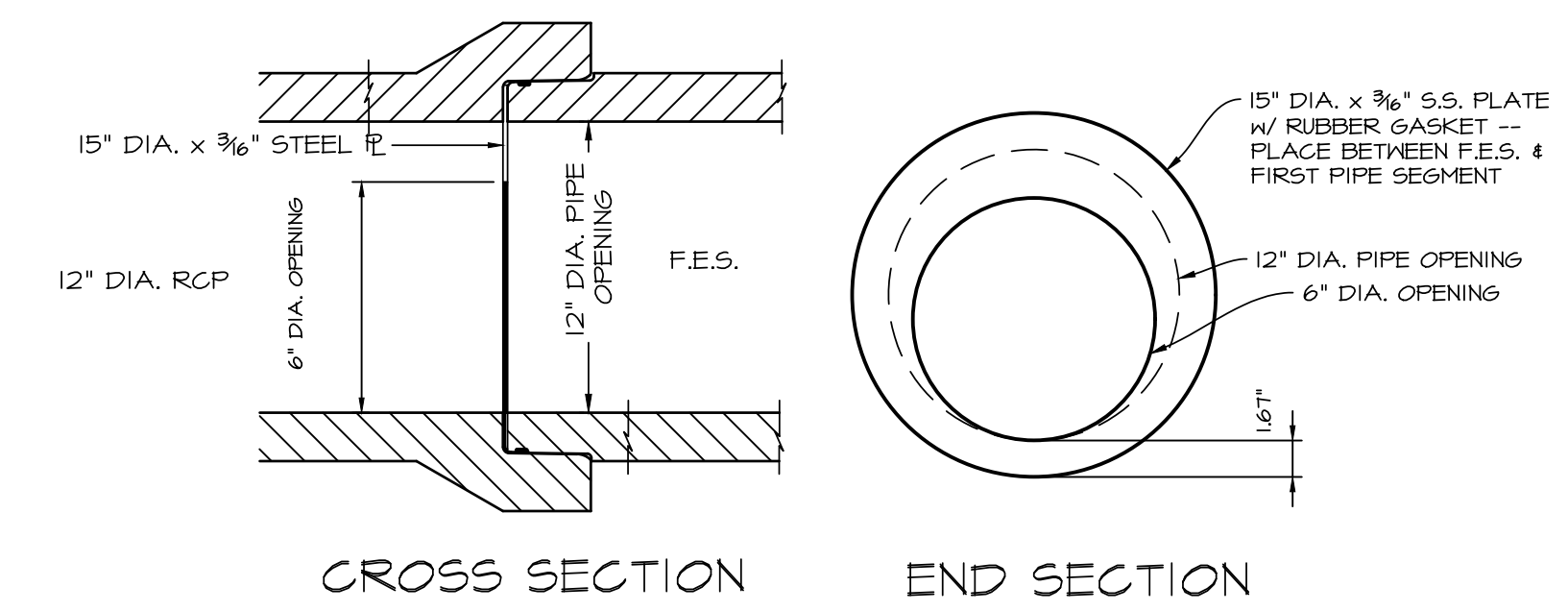
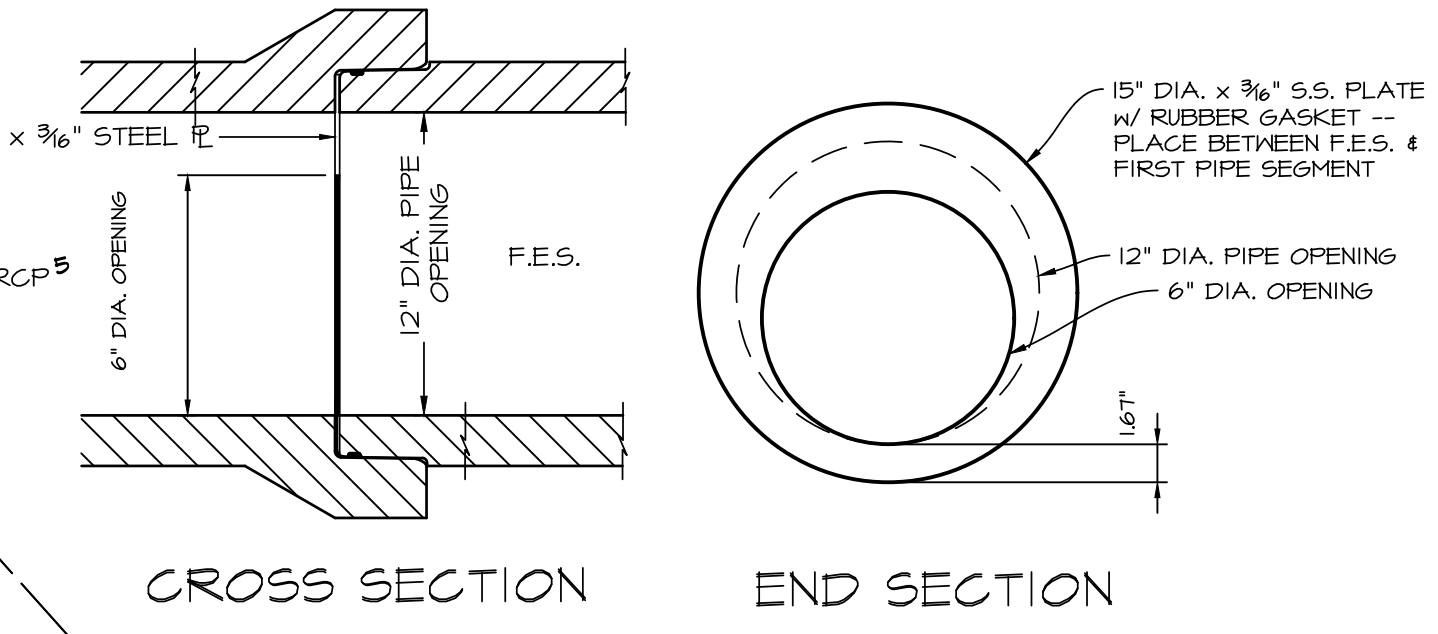
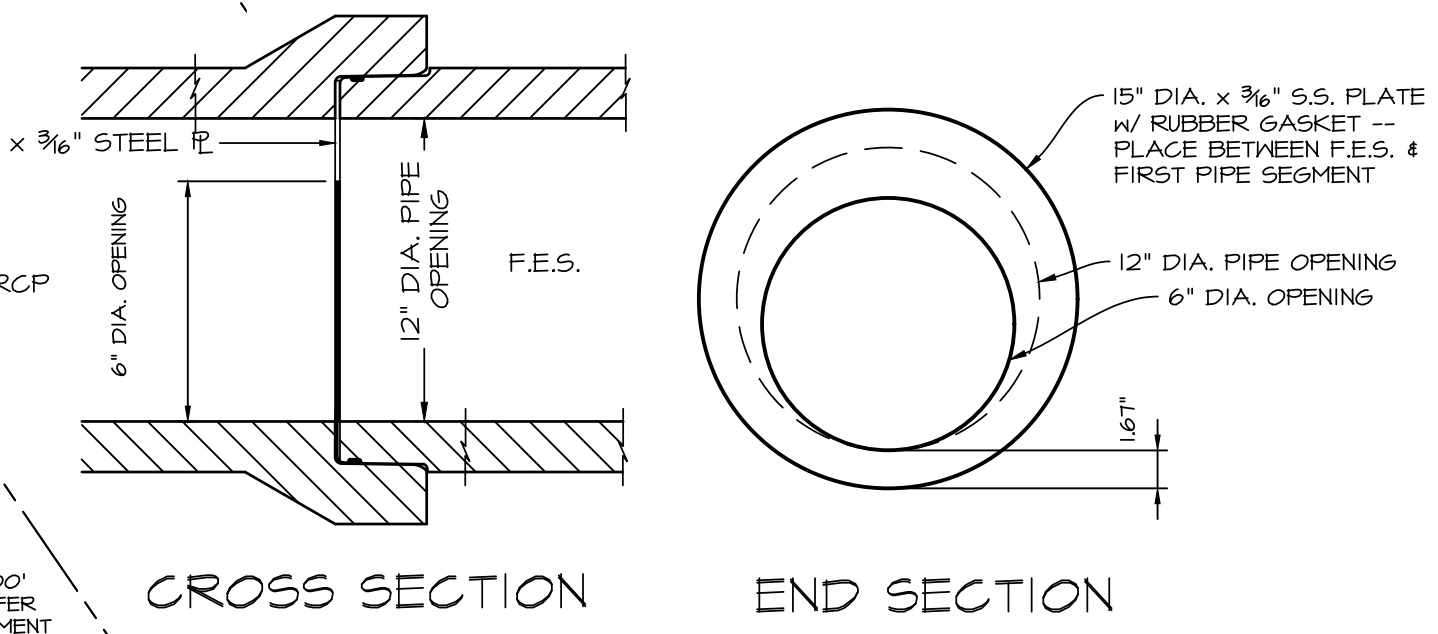
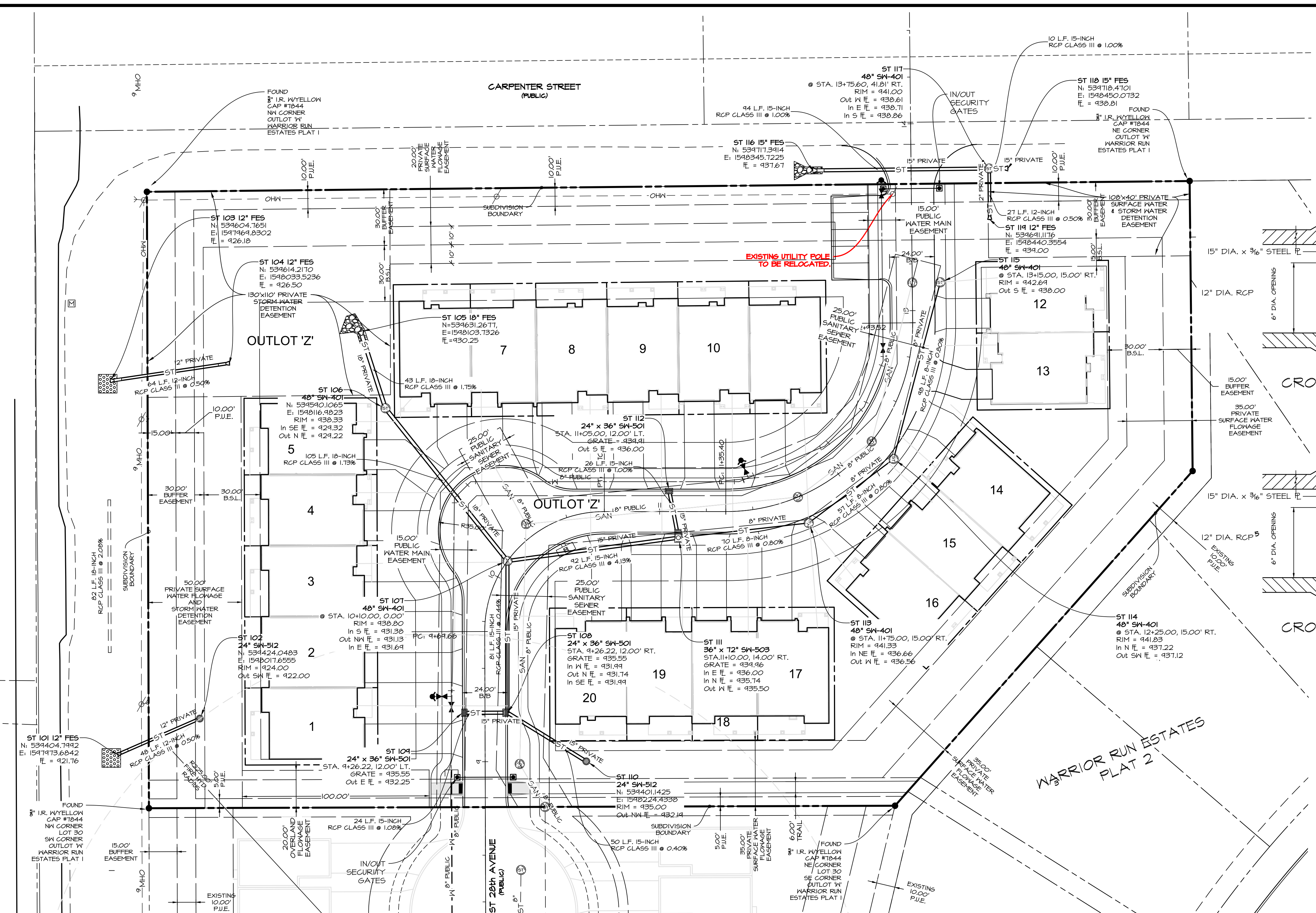
Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 Des Moines, Iowa 50322
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com



NO.	DATE	REVISIONS	COMMENTS
1	08-21-2018		
2	04-11-2018		
3	04-25-2018		
4			
5			
6			

DATE: JULY 31, 2018
 DESIGNED BY: MCH
 DRAWN BY: MCH

WARRIOR RUN SENIOR LIVING PLAT I
 NORWALK, IOWA
STORM SEWER PLAN
 SHEET 04 OF 06
 E-7422



SANITARY & SUMP SERVICES SHALL BE MARKED AT THE END OF PIPE WITH A 2X4 TO THE SURFACE & A STEEL FENCE POST. PLACE ONE 6 FT. STEEL POST BURIED 3 FT. AT WATER CURB BOX. COLOR MARKING OF SERVICES SHALL BE RED FOR SANITARY, GREEN FOR SUMPS AND BLUE FOR WATER.

SERVICE LOCATION DETAIL
 NO SCALE

- LEGEND**
- | | | | |
|---|--------------------|---|-------------------------|
| — | EXISTING PROPOSED | — | PLAT BOUNDARY |
| — | ST 12" | — | STORM SEWER # SIZE |
| — | SAN 12" | — | SANITARY SEWER # SIZE |
| — | W 8" | — | WATER MAIN # SIZE |
| — | OHN | — | OVERHEAD ELECTRIC WIRES |
| ○ | MANHOLE | ○ | STORM INTAKE |
| ○ | FIRE HYDRANT | ○ | VALVE |
| ○ | F.E.S. | ○ | EXISTING CONTOURS |
| ○ | PROPOSED CONTOURS | ○ | SILT FENCE |
| ○ | EXISTING TREE LINE | ○ | POINT OF BEGINNING |
| ○ | B.S.L. | ○ | BUILDING SETBACK LINE |
| ○ | MAIL BOX CLUSTER | ○ | STREET LIGHT POLE |
| ○ | FOUND CORNER | ○ | SET CORNER |

SCALE: 1"=30'
 ON 34"X22" SHEET
 1"=60" ON 11"X17" SHEET

NORTH

Q:\E-FILES\7000\E7422_CSD Drawings\Plan\PE\PE922.PP UTILITY SHEET STORM.dwg, 9/25/2018 9:02:40 AM, I:\chrisn, 1.1

PRELIMINARY PLAT / SITE PLAN
**WARRIOR RUN SENIOR
 LIVING PLAT I**
 NORWALK, IOWA
 SHEET 05 OF 06

PROPERTY OWNER / APPLICANT:
 CS FAMILY PROPERTIES, LLC
 1815 WETHERSFIELD DRIVE
 NORWALK, IOWA 50211

Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 Des Moines, Iowa 50322
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com

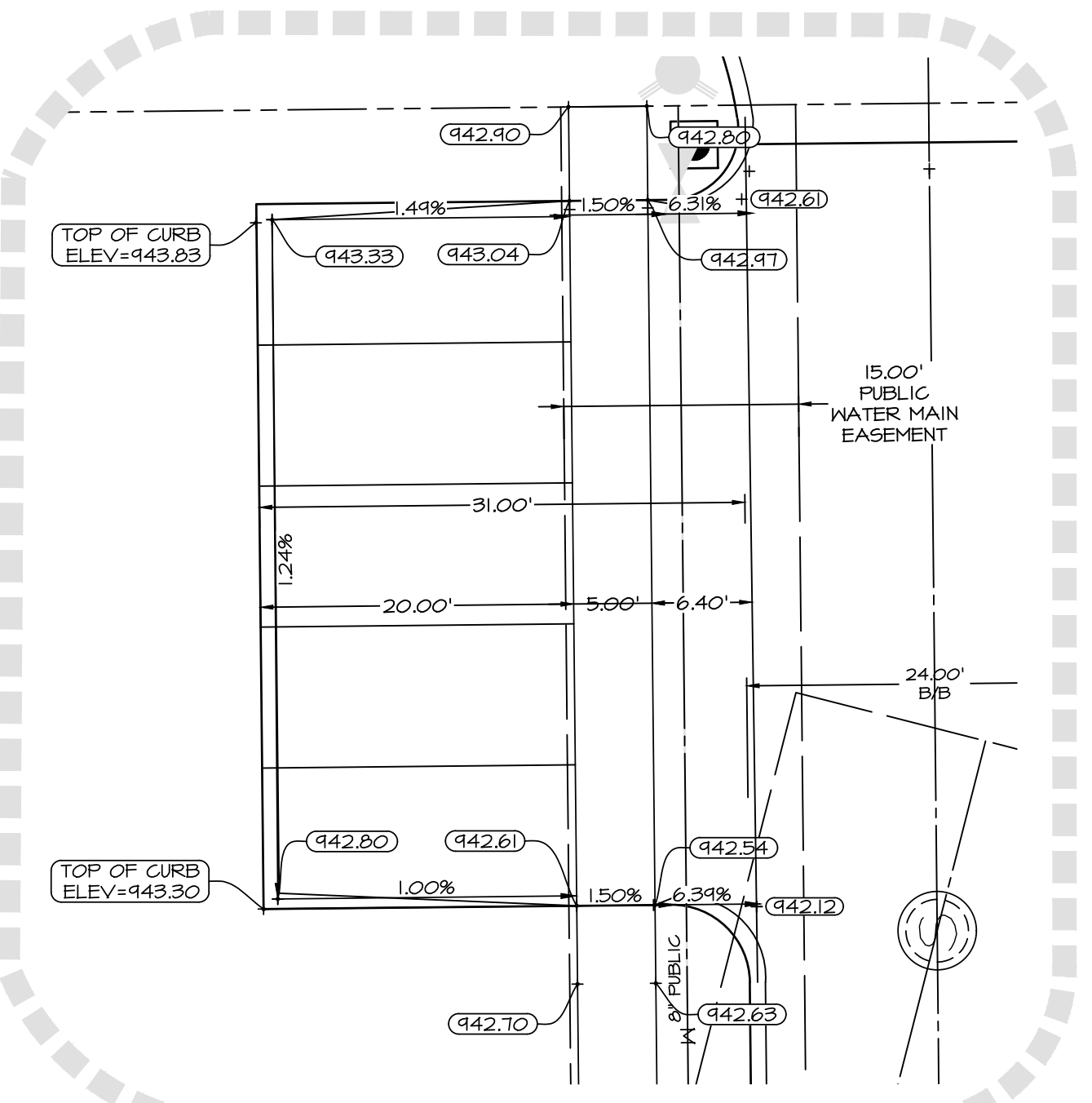
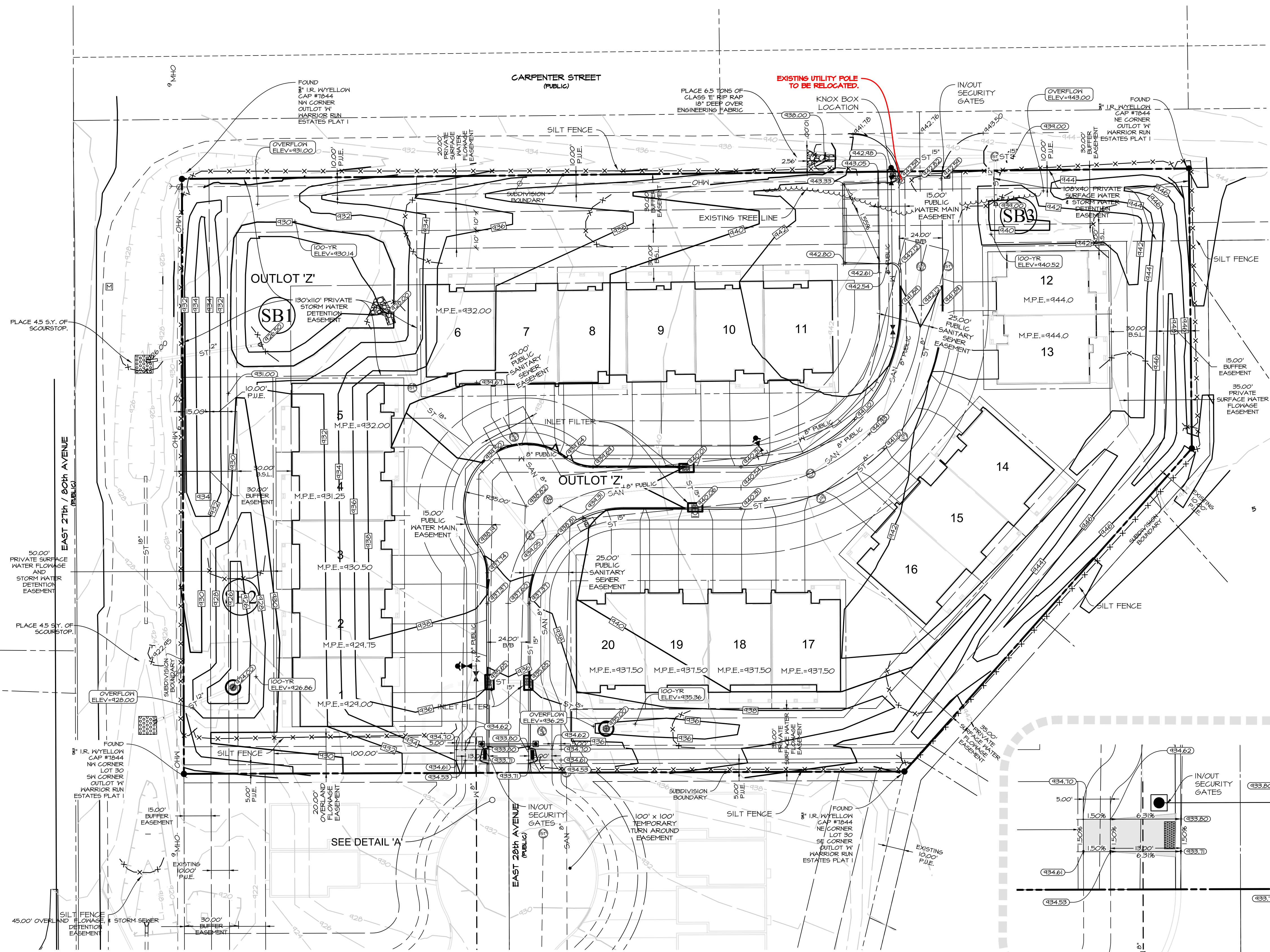


DATE:	REVISIONS	COMMENTS
JULY 31, 2018	1	08-21-2018
	2	04-11-2018
	3	04-25-2018
	4	
	5	
	6	

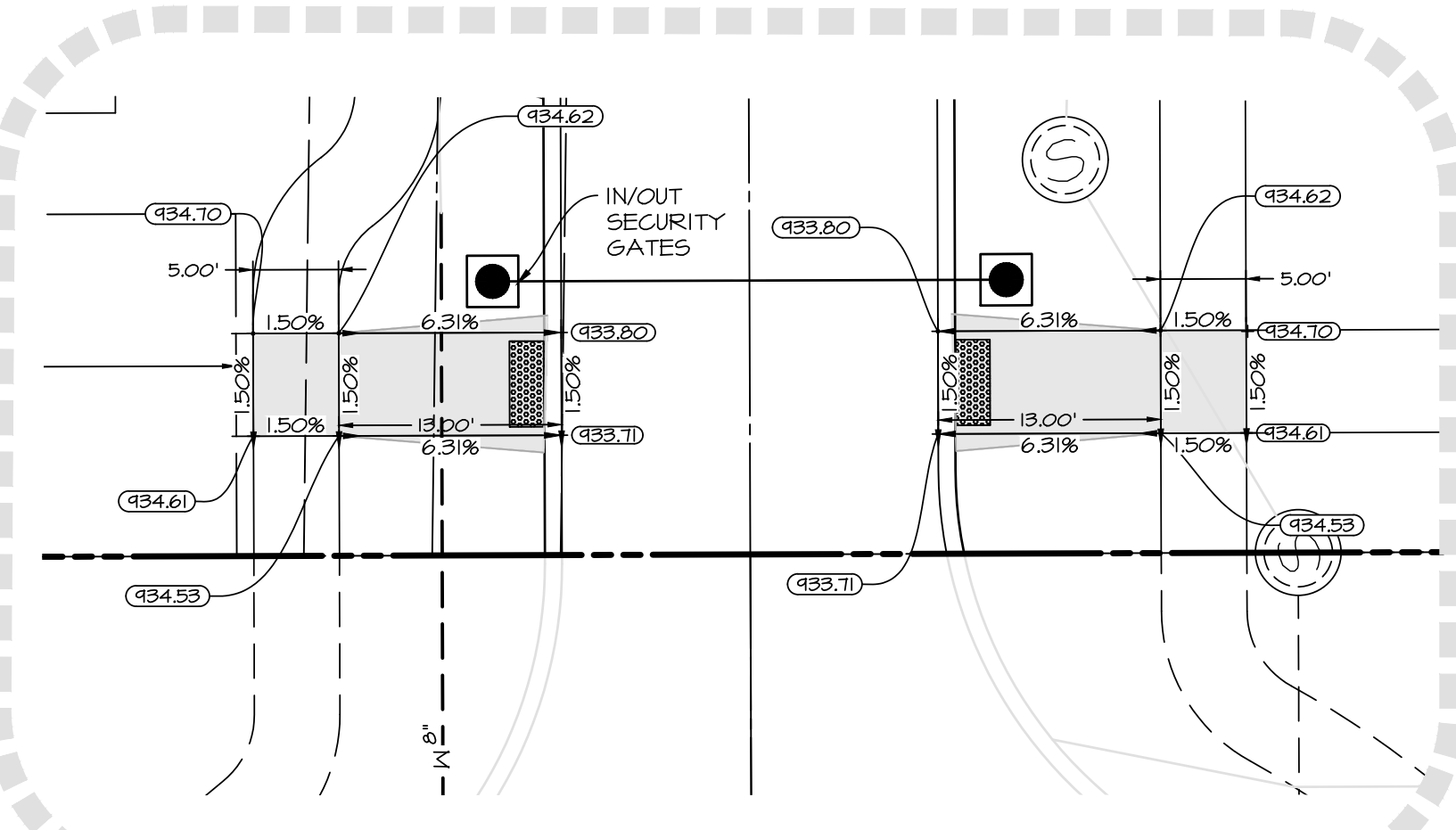
DATE OF SURVEY: MAY 1, 2017
 DESIGNED BY: PC
 DRAWN BY: MEH

WARRIOR RUN SENIOR LIVING PLAT I
 NORWALK, IOWA
GRADING PLAN

SHEET
05
 OF
 06
 E-7422



DETAIL 'B'
 SCALE: 1"=10'
 ON 34"X22" SHEET
 1"=20' ON 11"X17" SHEET



DETAIL 'A'
 SCALE: 1"=10'
 ON 34"X22" SHEET
 1"=20' ON 11"X17" SHEET

SCALE: 1"=30'
 ON 34"X22" SHEET
 1"=60' ON 11"X17" SHEET

- LEGEND**
- EXISTING/PROPOSED
 - FLAT BOUNDARY
 - ST 18" STORM SEWER & SIZE
 - SAN 8" SANITARY SEWER & SIZE
 - W 12" WATER MAIN & SIZE
 - OHN OVERHEAD ELECTRIC WIRES
 - MANHOLE
 - STORM INTAKE
 - FIRE HYDRANT
 - VALVE
 - F.E.S. EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SILT FENCE
 - EXISTING TREE LINE
 - P.O.B. POINT OF BEGINNING
 - B.S.L. BUILDING SETBACK LINE
 - MAIL BOX CLUSTER
 - STREET LIGHT POLE
 - FOUND CORNER
 - SET CORNER

Q:\E-FILES\7000\77922_CSD Drawings\Plan\PRE\7922_PP GRADING.dwg, 9/25/2018 9:02:46 AM, pclausen, 1:1

PRELIMINARY PLAT / SITE PLAN
WARRIOR RUN SENIOR LIVING PLAT I
 NORWALK, IOWA
 SHEET 06 OF 06

PROPERTY OWNER / APPLICANT:
 CS FAMILY PROPERTIES, LLC
 1815 WETHERSFIELD DRIVE
 NORWALK, IOWA 50211

Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 Des Moines, Iowa 50322
 515.276.4884 Fax: 515.276.7084 mail@cecinc.com



PLANTING SCHEDULE

KEY	QUANTITY	Botanical name/ COMMON NAME	SIZE	CONDITION	REMARKS
AC	5	Amenanchier canadensis SERVICEBERRY	1" GAL.	Cont.	
AT	6	Acer truncatum SHANTUNG MAPLE	2" GAL.	Cont.	
CC	6	Cercis canadensis EASTERN REDBUD	1" GAL.	Cont.	
CR	5	Crataegus crusgalli 'Crusam' CRUSAIDER HAWTHORN	1" GAL.	Cont.	
GT	5	Gleditsia Infa. N. 'Skyliner' SKYLINE HONEY LOCUST	2" GAL.	Cont.	
JA	22	Juniperus x pfitzeriana 'Armstrongii' ARMSTRONGS JUNIPER	5 gal.	Cont.	3' OC
JS	48	Juniperus x pfitzeriana 'Sea Green' SEA GREEN PFTIZER	5 gal.	Cont.	4.5' OC
MS	12	Malus 'Sulzham' SUSAK TYME CRABAPPLE	1" GAL.	Cont.	12' OC
PF	35	Potentilla fruticosa 'Goldfinger' GOLDFINGER POTENTILLA	18" HT.	TS/B4B	3' OC
PG	54	Picea glauca densata BLACK HILLS SPRUCE	8' HT.	TS/B4B	11' OC
PO	65	Physocarpus opulifolia 'Seward' SUMMER WINE NINEBARK	24" HT.	Cont.	4' OC
PS	14	Pinus strobus 'Columar' COLUMBIA WHITE PINE	8' HT.	TS/B4B	8' OC
GB	5	Quercus bicolor SWAMP WHITE OAK	2" Gal.	Cont.	28' OC
QR	5	Q. robur x Q. alba 'Crimschmidt' CRIMSCHMIDT OAK	2" Gal.	Cont.	
GW	7	Quercus marian 'Lora' REGAL PRINCE OAK	2" Gal.	Cont.	15' OC
SJ	21	Spiraea japonica 'Bumalda' JAPANESE SPIREA	18" HT.	Cont.	3' OC
VP	26	Viburnum prunifolium BLACKHAM VIBURNUM	30" HT.	Cont.	5' OC



LEGEND

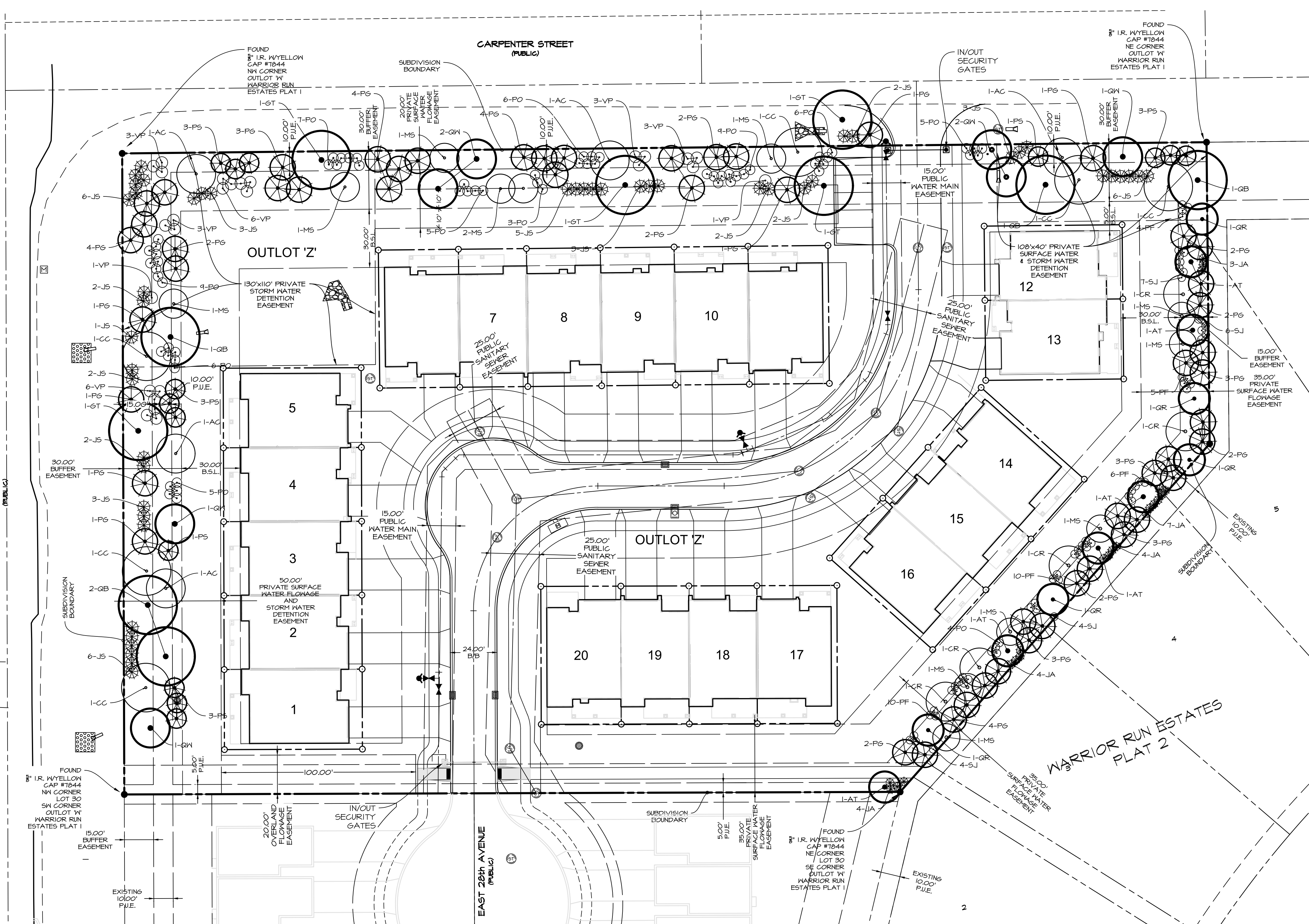
—	EXISTING PROPOSED	—	PLAT BOUNDARY
—S—	ST 12"	—	STORM SEWER & SIZE
—SAN—	SAN 12"	—	SANITARY SEWER & SIZE
—W—	W 12"	—	WATER MAIN & SIZE
—OH—	OH 12"	—	OVERHEAD ELECTRIC WIRES
○	MANHOLE	●	STORM INTAKE
○	FIRE HYDRANT	○	VALVE
△	F.E.S.	○	EXISTING CONTOURS
○	EXISTING CONTOURS	○	PROPOSED CONTOURS
—X—	SILT FENCE	—	EXISTING TREE LINE
○	P.O.B.	○	POINT OF BEGINNING
○	B.S.L.	○	BUILDING SETBACK LINE
○	MAIL BOX CLUSTER	○	STREET LIGHT POLE
○	FOUND CORNER	○	SET CORNER

SCALE: 1"=30'
 ON 34"X22" SHEET
 1"=60" ON 11"X17" SHEET

WARRIOR RUN SENIOR LIVING PLAT I
 NORWALK, IOWA
 LANDSCAPE PLAN

SHEET 06 OF 06

E-7422



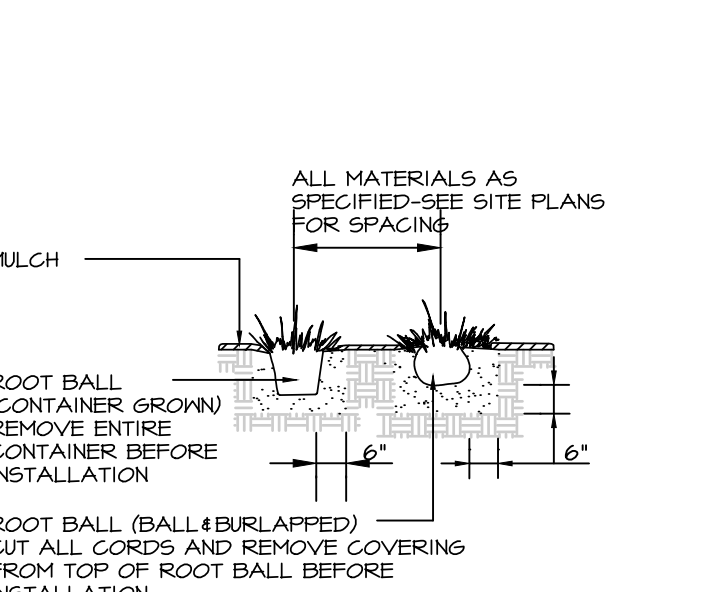
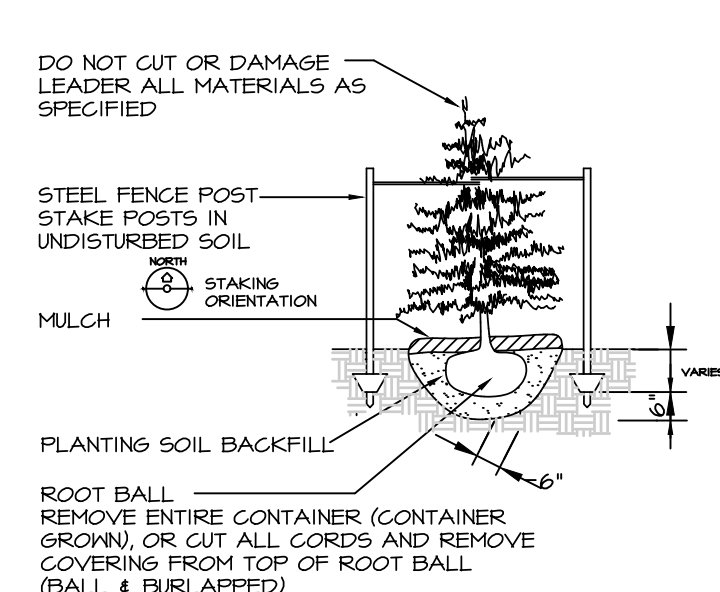
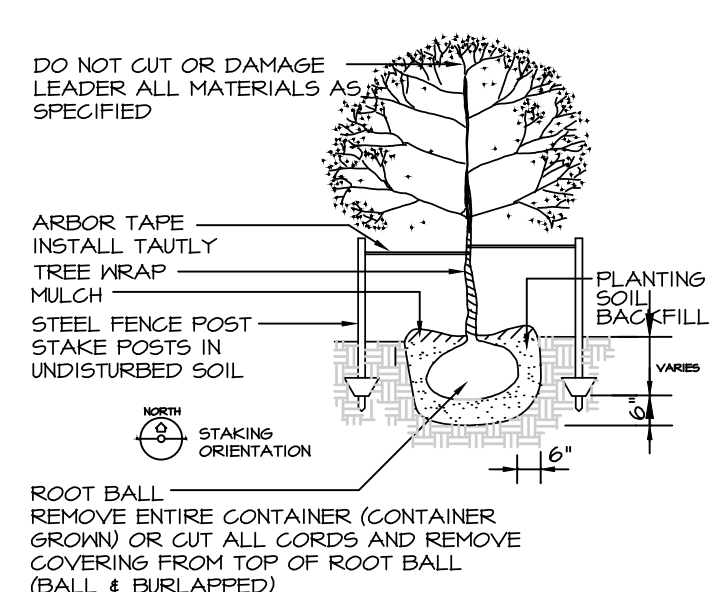
EAST BUFFER-YARD PLANTING
 WIDTH: 15' MULTIPLIER: 1.4
 1 PLANTING UNIT PER 100' = 2 OVERSTORY TREES + 2 UNDERSTORY TREES
 + 5 EVERGREEN TREES + 16 SHRUBS.
 BUFFER-YARD LENGTH: 364 L.F.
 EAST BUFFER-YARD LANDSCAPING REQUIRED & PROVIDED:
 (364/100) x 1.4 = 5.1 LANDSCAPING UNITS = 11 OVERSTORY TREES; 11 UNDERSTORY TREES; 26 EVERGREEN TREES; 82 SHRUBS.

WEST BUFFER-YARD PLANTING
 WIDTH: 30' MULTIPLIER: 1.0
 1 PLANTING UNIT PER 100' = 2 OVERSTORY TREES + 2 UNDERSTORY TREES
 + 5 EVERGREEN TREES + 16 SHRUBS.
 BUFFER-YARD LENGTH: 84 L.F.
 WEST BUFFER-YARD LANDSCAPING REQUIRED & PROVIDED:
 (84/100) x 1.0 = 0.8 LANDSCAPING UNITS = 1 OVERSTORY TREE; 1 UNDERSTORY TREE; 4 EVERGREEN TREES; 16 SHRUBS.

PLANT MATERIAL QUALITY TO BE PER ANSI Z601.
 ALL DECIDUOUS TREES ARE TO BE WRAPPED WITH TREE WRAP AND SECURED WITH COTTON STRING. NO SYNTHETIC TIES OR TAPE ALLOWED.
 STAKE ALL TREES EXCEEDING 1" IN CALIFER.
 ALL LIKE SPECIES PLANT MATERIAL TO BE MATCHED AND SPECIMEN.

AREAS:

BUILDINGS	= 35,942 S.F.	21.4%
IMPERVIOUS STREET	= 15,326 S.F.	9.3%
DRIVES & WALKS	= 17,100 S.F.	10.8%
OPEN SPACE	= 45,054 S.F.	60.0%
TOTAL	= 164,022 S.F.	100.0%



DO NOT CUT OR DAMAGE LEADER ALL MATERIALS AS SPECIFIED

DO NOT CUT OR DAMAGE LEADER ALL MATERIALS AS SPECIFIED

ALL MATERIALS AS SPECIFIED-SEE SITE PLANS FOR SPACING